

ISLAND PATH COMMITTEE MEETING
JULY 24, 2002

The meeting was called to order by Chairperson Selectman Bonnie Searle at 7:00 p.m. Present were Mrs. Ellen Goethel, Ms. Bonnie Thimble, Mr. Peter Tilton Jr., Mr. Mike McDermott, Mr. Jim Keefe and Mr. David Joaquin (who joined the meeting at 7:50 p.m.).

1. Review Minutes

The Minutes of May 22, 2002 were reviewed. Mr. McDermott questioned the Addendum (his chain of events statement) as being part of the Minutes. Mrs. Goethel stated since it was voted on 5/22/02 it was voted in and will stand as being part of the Minutes. Mr. Tilton motioned to accept the Minutes as amended, seconded by Ms. Thimble. All were in favor. Mrs. Goethel motioned to review the Minutes of June 19, 2002. After taking the time to review these Minutes, Mrs. Goethel motioned to accept the Minutes as presented, seconded by Mr. Keefe. All were in favor.

Mr. Tilton asked if there would be a meeting on August 5, 2002 as scheduled. Ms. Searle stated that there would not be a meeting on that day.

2. Committee Final Report

A discussion ensued on the Committee Final/Minority Reports that will be presented to the Selectmen. Mr. McDermott and Mr. Keefe were under the impression that they would present their own Minority Report. Mrs. Goethel stated that the Minority Report should be handed in with the Final Report to the Selectmen. Ms. Searle stated the deadline is August 1, 2002 for the submission of the Report. Mr. Keefe asked Ms. Searle to ask the Selectmen if the date can be changed to August 5, 2002 as they will need more time to prepare the Minority Report. Ms. Searle will see if this could be changed. At this time Ms. Searle asked the Committee to read the Final Report for review. Mr. McDermott asked about the dump site. Mrs. Goethel suggested he put this in the Minority Report. Mr. Keefe stated that as of today's date the Town/Conservation Commission has not asked for the permits. Mrs. Goethel responded to that statement. Mr. McDermott stated that Ms. Searle kept saying "no" to parking on the Town Lot. Ms. Searle responded to the statement and clarified the statement. Mr. Keefe stated to correct on page 1 the signage of parking. Mr. Keefe also asked about what the adjacent parking meant. Mrs. Goethel changed to "parking on" instead of "adjacent". Mr. Tilton stated to correct a grammatical error and to add "Authorized Vehicles Only". Mrs. Goethel and Ms. Thimble had no further comments on the Final Report. Mr. Tilton motioned to accept the Final Report with corrections, seconded by Mrs. Goethel. The vote was 4 in favor and 3 opposed. Mrs. Goethel will correct the Final Report and deliver to each member by Friday, July 26, 2002 to be inserted into the Selectmen's packets and for the Conservation Commission.

Ms. Searle suggested meeting one more time to review the Minority Report. Another meeting was suggested for Wednesday, July 31st to accept the Minority Report. Mr. Tilton motioned to accept the Minority Report if attached to the Final Report without discussion or meeting on August 5th. Mrs. Goethel seconded the motion. All were in favor. The Minority Report will be delivered to Ms. Searle.

3. Public Comments

There were no public comments at this meeting.

ISLAND PATH COMMITTEE MEETING


July 24, 2002

Page 2

The next meeting will be a short meeting on Monday, August 12, 2002 prior to the Selectmen's Meeting at 6:30 p.m. This meeting will be to review the Minutes of July 24, 2002 and most likely be able to disband the Committee.

Mrs. Goethel motioned to adjourn at 8:35 p.m., seconded by Ms. Thimble. All were in favor.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "Sue Launi".

Sue Launi
Conservation Commission Secretary

July 31, 2002

TO: Island Path Committee Members

RE: 7/24/02 Minutes, Minority Report & 9/7/02 Board of Selectmen's Meeting

Dear ladies + gentlemen,

Enclosed are the minutes of our last meeting. As we discussed, will be meet at 6:30 p.m., just before the selectmen's meeting when the project will be taken up by the selectmen on September 9th. Please look the minutes over, and come prepared to offer corrections, if any, and we will at that time disband as a committee.

The Board of Selectmen on Monday, July 29th, were agreeable to extending the deadline for our committee to present it's report/recommendation in order to accommodate a minority report to August 5th. I would ask that the minority report be delivered to me as soon as it is ready, so that I can make proper distribution to other committee members, the board of selectmen and the conservation commission. It may be left in one of the many paper tubes adjacent to my mailbox, or between the kitchen doors of my home (16 Penniman Lane).

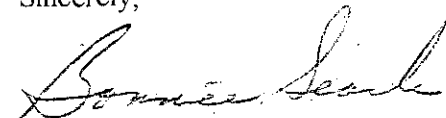
The selectmen, in briefly discussing this project, decided that there should be one person representing the majority report and one representing the minority position at the selectmen's meeting on September 9th. Please call me with your recommendations.

Also, please be cognizant of the fact that there is an August 7th hearing before the planning board on an application for a special permit to allow work within the 50' buffer zone at the site. I was not aware of this at our 24th meeting or it would have been properly discussed. I saw the legal notice in the Hampton Union on Friday.

Copies of the corrected minutes of June 19 and May 22, are also enclosed.

Even though our meetings were contentious at times, I appreciate everyone's willingness to give up so much personal time during our busy summer to work toward eventually providing the public with an improved interesting educational site at the Island Path conservation area. I am grateful for the opportunity to chair the committee, and thank everyone for their diligence.

Sincerely,



Bonnie B. Searle, Chairman
ISLAND PATH CONSERVATION COMMITTEE

Enclosures

Cc Sue Launi, Secretary ✓

*Sue - Thank you so much for your perseverance (sp?) and getting the last minutes to me so promptly. I haven't read their stuff - it was given to me by Tr. McGr. this pm.
2:45 pm 7/31/02 Bonnie*



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www.admiralmetals.com

8-1-2002

BONNIE,

ENCLOSED IS THE MINORITY REPORT THAT IS DUE AUGUST 1, 2002. A COUPLE RESIDENT APPROACHED ME TONIGHT AND TOLD ME THAT YOU ON TV SAID THAT THE MINORITY REPORT FROM THE ISLAND PATH COMMITTEE WAS NOT YET READY. THIS REPORT WAS AGREED UPON TO BE READY BY TODAY, AND IT WAS. I WAS ALSO TOLD THAT YOU SAID WE DO NOT UNDERSTAND HOW TOWN POLICES WORK. I WAS VERY DISAPPOINTED IN WHAT YOU SAID PUBLICLY. THROUGHOUT THIS WHOLE ORDEAL I SHOULD OF BEEN MORE VOCAL, BUT I WASN'T. WHAT I DID SEE ~~THOUGH~~ THOUGH, WAS SOME TACTICS PLAYED BY YOU AND THE OTHER MEMBERS THAT I DIDN'T APPRECIATE. AS CHAIRPERSON, YOU PROBABLY SHOULD OF HAD A MORE UNBIASED OPINION.

David Joseph

Woburn, MA Tel 800-423-6472 Fax 781-937-4469

Rochester, NY Tel 800-636-2522 Fax 716-244-4730 * Brooklyn, NY Tel 800-636-2502 Fax 800-684-7247
Lansdale, PA Tel 800-236-9308 Fax 215-699-8804 * Connecticut Tel 800-636-2513 Fax 203-879-6861

Aluminum * Brass * Bronze * Copper * Stainless Steel * Hi Temp Alloys

July 29, 2002

To: Board of Selectmen
Conservation Commission

From: Island Path Committee

Re: Minority Report

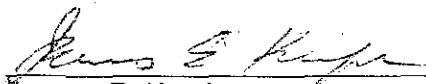
To whom it may concern,

Please find attached the completed minority report. This report entails the culmination of input from the residents of Island Path. The issue of parking was the only disagreement between the residents and Conservation/Selectmen. Although the vote on parking was 4-3 in favor of Conservation/Selectmen, please note the request for the vote came abruptly and we feel was improper because it was not on the planned agenda for that night.

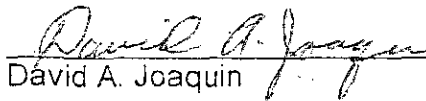
The majority vote on the acceptance of the final recommendation submitted by Conservation/Selectmen was also 4-3 in favor.

Thank You,

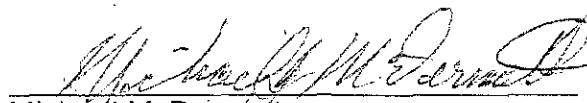
Island Path Committee:



James E. Keefe



David A. Joaquin



Michael McDermott



Patricia M. Fraser (alternate)

Island Path Committee Minority Report

We the residents are in agreement that the proposed walk path for this site would be an improvement over what presently exists. What the residents propose is to utilize the town owned parking lot on East Island Path as the parking lot for this project. The residents do NOT want parking on site, because Island Path is a quiet residential dead end road. The main concern the residents have of parking on site is the disturbance of the natural habitat that exist. Another point of concern the residents have in the recommendation from Conservation, is to have elevated platforms built, the residents feel these platforms will serve basically no purpose.

We the residents would like the site developed in the following phases:

Phase I:

Apply for D.E.S. permit (pre 1981) dump site.

Apply for permits to remove any possible hazardous materials (ex. steel drums, metal, all broken glass, medical waste, furniture and construction debris) and test soils for planting.

Install gate to authorized vehicle area.

If site is considered hazardous then apply for superfund grant.

Phase II:

Immediately upgrade habitat for the wildlife. (mow grass and prune trees)

Commence cleanup after permits are in place and start planting.

Commence with sidewalk construction in conjunction with Master Plan from Ashworth Avenue to the site. (grade level)

Phase III:

Start construction of gravel path, this path must stay inside the site and to be located parallel to the existing boulders.

Phase IV:

Install posted reduced speed limit signs to 20 mph. (DEAD END ROAD)

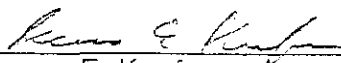
Install posted signs "No Busses Allowed" beyond intersection of Battcock and Island Path.

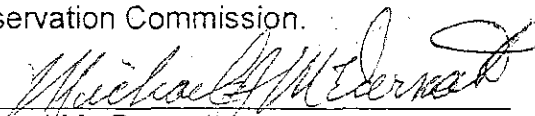
Install interior signage that was agreed upon with the committee.

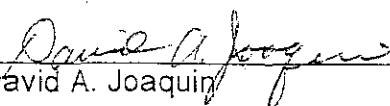
Finish all planting, install garbage barrels, and install bicycle racks.

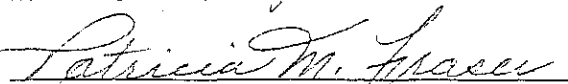
Summary:

This project has the ability to be a tremendous asset to our community and state. The above is a well thought out plan, we the residents are willing to work with the Town and Conservation to see this project through as we propose. All maintenance and cleanup of the site will be the responsibility of the Town of Hampton and the Conservation Commission.


James E. Keefe


Michael Mc Dermott


David A. Joaquin


Patricia M. Fraser (alternate)

STILL PLAN

ISLAND PATH ROAD
HAMPTON, NEW HAMPSHIRE

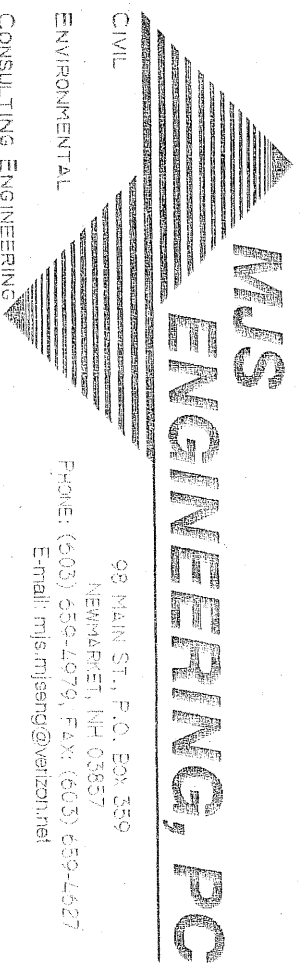
ONLINE

TOWN OF HAMPTON
136 WINNACUNNET ROAD
HAMPTON, NH 03842

PREPARED FOR

HAMPTON CONSERVATION COMMISSION
136 WINNACUNNET ROAD
HAMPTON, NH 03842

ROCKINGHAM COUNTY
CONSERVATION DISTRICT
110 NORTH ROAD
BRENTWOOD, NH 03833-6614

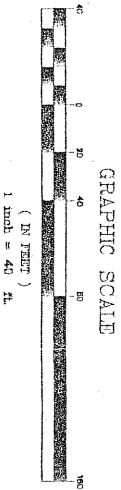
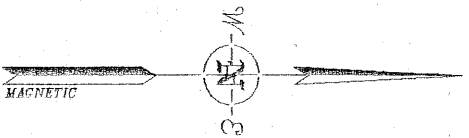


99 MAIN ST., P.O. BOX 359
NEWMARKEET, NH 03857
PHONE: (603) 659-4979, FAX: (603) 659-4627
E-mail: mjs.mj@verizon.net

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EXISTING CONDITIONS	S1
PHASE 1: SITE PLAN	C1
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SITE DETAILS	C3
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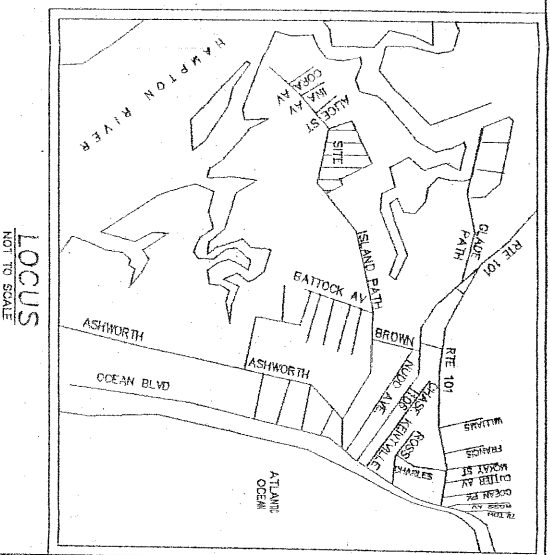
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Reduced
Scale: 1" = 80'

NOTES: SHORELAND PROTECTION STANDARDS	
PER NHDES EN-1400	
REFERENCE LINE	= HIGHEST OBSERVABLE TIDE LINE (COASTAL WATERS)
PRIMARY STRUCTURE SETBACK	= 50 FT. FROM REFERENCE LINE
(SHORELAND PROTECTION BUFFER)	(REFERENCE LINE, ELEVATION = 9 FT.)

LEGEND	
UTILITY POLE & GUY WIRE	
EXISTING SIGN	
BOUND FOUND	
IRON PIN FOUND	
SEWER MANHOLE	
FENCE POST	
EDGE OF WETLAND	
PROPERTY LINES	
EXISTING CONTOUR	
REFERENCE LINE (ELEVATION = 9 FT.)	



- GENERAL NOTES:
1. REFERENCE PLANS:
A) TOWN OF HAMPTON TAX MAP 281
B) PLAN TITLED HAMPTON CONSERVATION COMMISSION ISLAND PATH MARSH
WALK, ISLAND PATH HAMPTON, NH DATED: 1/10/02
BY: E.L. COLE & ASSOCIATES, INC. LAND SURVEYORS
 2. OWNER OF RECORD:
TOWN OF HAMPTON
TAX MAP 281, LOT 1
RECORD: EN 800, PG. 53
 3. APPLICANT:
HAMPTON CONSERVATION COMMISSION
 4. TOPOGRAPHIC SURVEY PERFORMED BY: E.L. COLE & ASSOCIATES, INC. LAND SURVEYORS
 5. SOILS INFORMATION:
SOILS INFORMATION FOR THE SITE WAS TAKEN FROM
THE "SOILS SURVEY OF ROCKINGHAM COUNTY" PAGE 28
SOIL TYPE: 289 - LOESS, SMOOTHED
1405 - CRAYNE, WOOD, TERT
1405 - CRAYNE, WOOD, TERT
 6. ZONING INFORMATION:
PER TOWN OF HAMPTON ZONING ORDINANCE TABLES II (1.2)
ZONE: R-1
MINIMUM LOT AREA: 8,000 SF
MINIMUM LOT FRONTAGE: 60 FT.
MINIMUM YARD SETBACKS:
FRONT: 10 FT.
SIDE: 10 FT.
REAR: 7 FT.
MAXIMUM IMPERVIOUS COVERAGE: 50%
MAXIMUM BUILDING HEIGHT: 30 FT.
WETLAND SETBACK: 50 FT.

BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. LIABILITY FOR ACTIONS UNDERTAKEN IN
RELANCE UPON THE PLAN, AS THEY RELATE TO THE SET-BACKS FROM
BOUNDARY LINES, RESIDE SOLELY WITH THE OWNER.

UTILITY NOTE:
THE UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE FOR INFORMATIONAL
PURPOSES ONLY. IT IS THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO NOTIFY
THE LOCATION OF ALL EXISTING UTILITIES.

**MJS
ENGINEERING, PC**

05 Park St., P.O. Box 559
Rockingham, NH 03086
Phone: (603) 450-2770 Fax: (603) 450-4227
Email: mjs@engr.com

JOE: 01-055

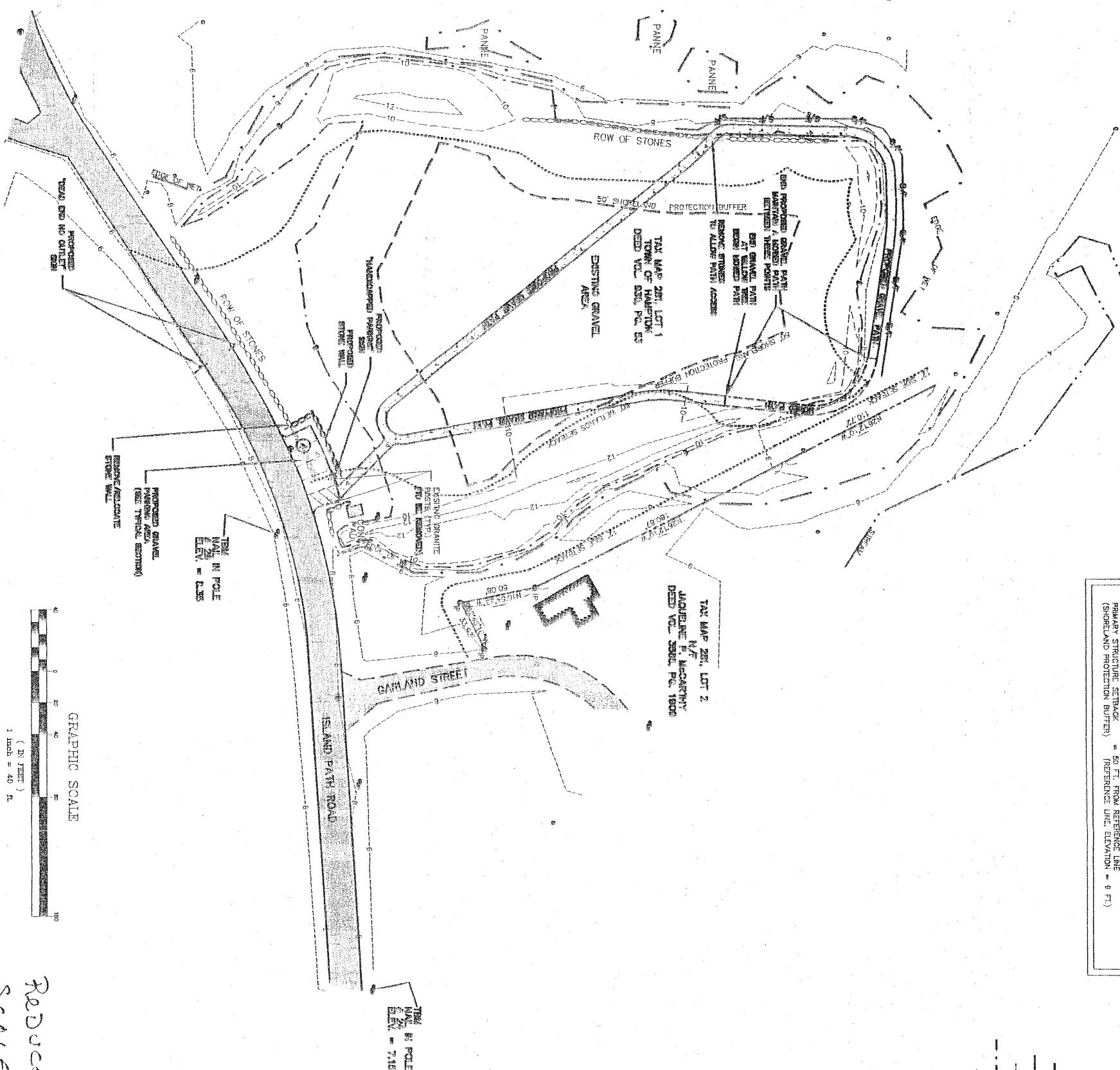
57

EXISTING CONDITIONS

prepared for
ROCKINGHAM COUNTY
CONSERVATION COMMISSION
AND THE
HAMPTON CONSERVATION COMMISSION
(TAX MAP 281, LOT 1)
ISLAND PATH ROAD HAMPTON, NH

DATE: 6/14/02
SCALE: 1"=40'
DESIGNED BY: RRL
DRAWN BY: RRL
APPROVED BY: MJS
DWG FILE: D:\056C1B

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NO.	REVISIONS
DATE	INT.

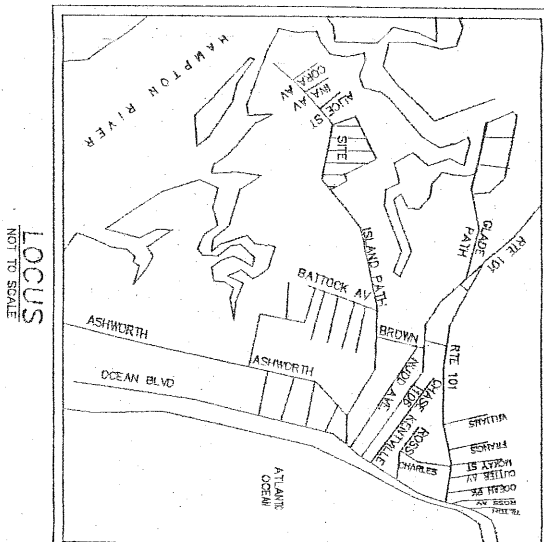


DESIGN SHORELAND PROTECTION STANDARDS:
PER NIDES EN-14001

REFERENCE LINE	=	HIGHEST OBSERVABLE TIDE LINE (COASTAL WATERS)
PRIMARY STRUCTURE SETBACK	=	50 FT. FROM REFERENCE LINE
(SHORELAND PROTECTION BUFFER)		(REFERENCE LINE ELEVATION = 9 FT.)

UTILITY POLE & GUY WIRE
EXISTING SIGN
BOUND FOUND
IRON PIN FOUND
SEWER MANHOLE
FENCE POST
EDGE OF WETLAND
PROPERTY LINES
EXISTING CONTOUR
REFERENCE LINE (ELEVATION = 8 FT.)
PROPOSED SILT FENCE
PROPOSED SIGN
PROPOSED PARKING SPACE, 10' x 20'

UTILITY POLE & GUY WIRE
EXISTING SIGN
BOUND FOUND
IRON PIN FOUND
SEWER MANHOLE
FENCE POST
EDGE OF MTLAND
PROPERTY LINES
EXISTING CONTOUR
REFERENCE LINE (ELEVATION = 8 FT.)
PROPOSED SILT FENCE
PROPOSED SIGN
PROPOSED PARKING SPACE: 10' X 20'



LOCUS
NOT TO SCALE

GENERAL NOTES

1. REFERENCE LAND:
A) TOWN OF HAMPTON TAX MAP 281
- B) PLAN TITLE: "HAMPTON CONSERVATION COMMISSION ISLAND PATH MAPS"
BY: E. S. COTE & ASSOCIATES, INC. LAND SURVYORS
2. OWNER OF RECORDED
TAX MAP 281, LOT 1
R.C.R.D. BK. D20, PG. 53
3. APPLICANT:
HAMPTON CONSERVATION COMMISSION
4. TOPOGRAPHIC SURVEY PERFORMED BY E.L. COTE & ASSOCIATES, INC. LAND
SURVYORS
5. SOIL INFORMATION FOR THE SITE WAS TAKEN FROM
THE 250' SOIL SURVEY OF ROCKHAMM COUNTY, PAGE 38
SOIL TYPE: 28B - UNDERHILLS, SMOOTHED
357 - IPSWICH, WICKY FEAT
T406 - CHAMPLAIN-HOLDS-CANTON COMPLEX

PER TOWN OF HAMPTON ZONING ORDINANCE TABLES II (1,2)

MINIMUM LOT AREA	60 FT.
MINIMUM LOT FRONTAGE	10 FT.
MINIMUM YARD SETBACKS	12 FT.
FRONT	7 FT.
SIDE	7 FT.
REAR	5 FT.
MAXIMUM IMPERVIOUS COVERAGE	65%
MAXIMUM BUILDING HEIGHT	35 FT.
WELLAND SETBACK	50 FT.

7. **PARKING REQUIREMENTS:**
PARKING FOR THIS SITE WILL BE AT THE PUBLIC PARKING LOT AT THE EASTERN END OF THE ISLAND PATH. VISITORS WILL WALK TO THE SITE FROM THIS PARKING LOT.
ON-SITE PARKING WILL BE PROVIDED OFF OF ISLAND PATH FOR HANDICAPPED AND EMERGENCY ACCESS.

PHASE 1 NOTES
1. INSTALL SLUTTERE AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE
FINE DETAIL ON SHEET C3.
2. ERECT THE PROPOSED GATE AT THE EXISTING ENTRANCE TO THE SITE
(SEE DETAIL).

1. REMOVE REDUCATE THE SECTION OF STONE WALL ALONG ISLAND PATH TO MAKE WAY FOR THE HANDICAPPED AND EMERGENCY ACCESS.
2. CONSTRUCT THE GRAVEL HANDICAPPED AND EMERGENCY PARKING (SEE TYPICAL GRAVEL PARKING CROSS-SECTION).
3. CONSTRUCT THE GRAVEL PATH AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE GRAVEL PATH CROSS-SECTION.
4. THE GRAVEL PATH SHALL BE CONSTRUCTED AT GRADE.

UPON COMPLETION OF PHASE 1 AND STABILIZATION OF ALL DISTURBED TERRACE FOR THE EROSION CONTROL, AND STAKEHOLDING NOTES FOUND ON SHEET CA, THE NEXT PHASE MAY BE REMOVED.

BOUNDARY NOTE: THIS IS NOT A BOUNDARY SURVEY. LIABILITY FOR ACTIONS UNDERTAKE RELANCE UPON THIS PLAN, AS THEY RELATE TO THE SET-BACKS FROM BOUNDARY LINES, RESTS SPECIFICALLY WITH THE OWNER.

UTILITIES NOTE: THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY. IT IS THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO NOT DISSEAL (1-888-344-7233) PRIOR TO CONSTRUCTION TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES.

Reduced
Scale: 1" = 80'

A hand-drawn diagram of a horseshoe magnet. The magnet is U-shaped, with the two poles facing each other. The top pole is labeled 'N' for North, and the bottom pole is labeled 'S' for South. The magnet is drawn with simple lines, showing the outer curve and the inner gap.

JOB: 01-056

MJS
ENGINEERING, PC

39 Main St., P.O. Box 359
Beverly, MA 01935
Phone: (508) 659-9710, Fax: (508) 659-6227
E-mail: mjs@mjsengr.com

PHASE 1: SITE PLAN
prepared for
ROCKINGHAM COUNTY
CONSERVATION COMMISSION
AND THE
HAMPTON CONSERVATION COMMISSION
(TAX MAP 281, LOT 1)
ISLAND PATH ROAD HAMPTON, NH

DATE: 6/14/02
SCALE: 1"=40'
DESIGNED BY: RRL
DRAWN BY: RRL
APPROVED BY: MJS

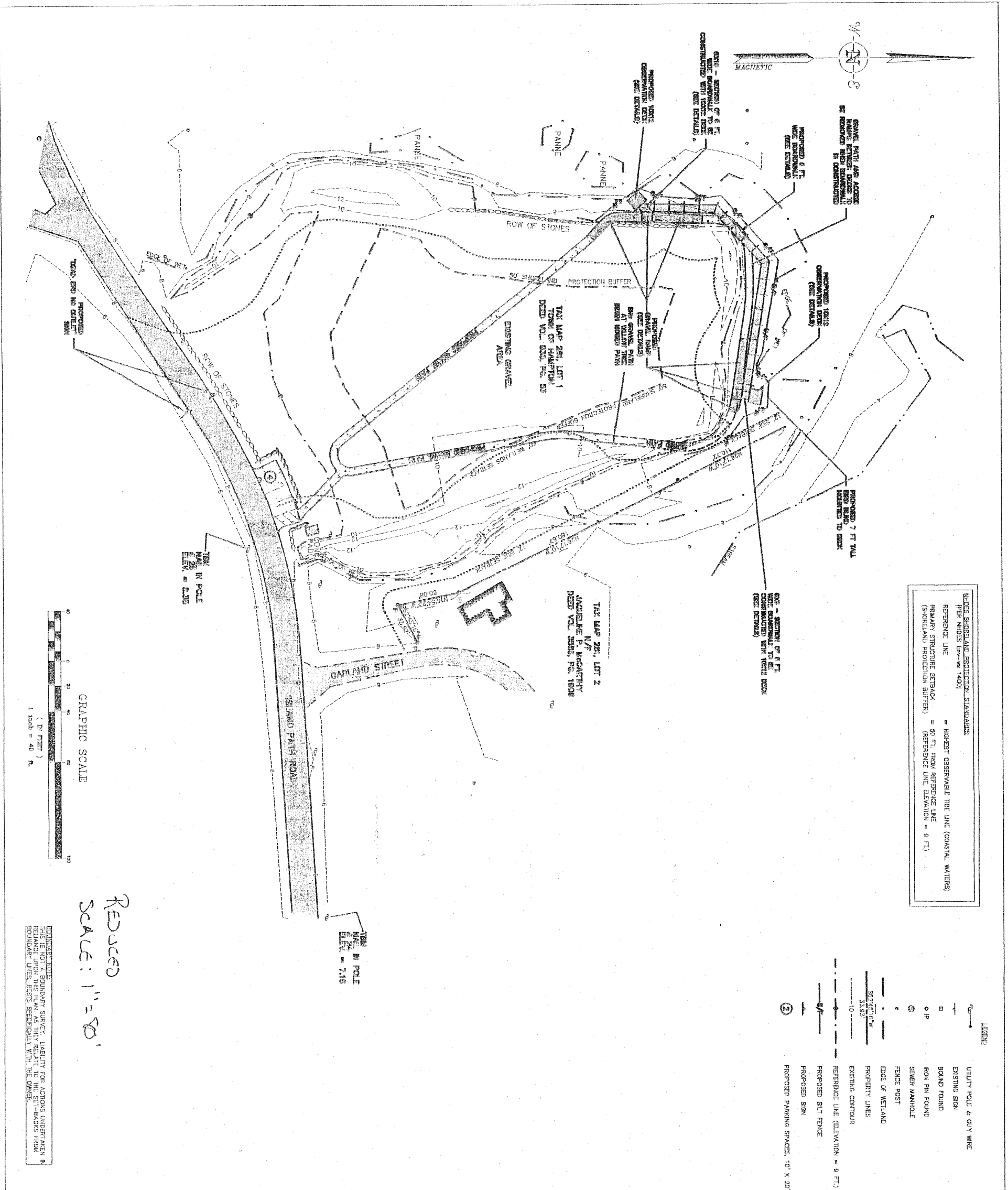
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1 REVISIONS PER CLIENT

NO.	REVISIONS
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2105	100



LEGEND

- UTILITY POLE & CUY WIRE
- EXISTING SIGN
- BOUND FOUND
- IRON PIN FOUND
- SINKER MANHOLE
- FENCE POST
- EDGE OF WETLAND
- PROPERTY LINES
- EXISTING CONTOUR
- REFERENCE LINE (ELEVATION = 9 FT.)
- PROPOSED SILT FENCE
- PROPOSED SIGN
- PROPOSED PARKING SPACES, 10' X 20'

GENERAL NOTES

1. REFERENCE PLANS:
 - A) TOWN OF HAMPTON TAX MAP 281
 - B) PLAN TITLED "HAMPTON CONSERVATION COMMISSION ISLAND PATH MARCH WALK, ISLAND PATH HAMPTON, NH DATED 1/10/02 BY E.L. COTE & ASSOCIATES, INC. LAND SURVEYORS"
2. OWNER OF RECORD:
 - TOWN OF HAMPTON
 - LOT 1
 - R.C.L. B.C. 500, P.G. 53
3. APPLICANT:
 - HAMPTON CONSERVATION COMMISSION
4. TOPOGRAPHIC SURVEY PERFORMED BY E.L. COTE & ASSOCIATES, INC. LAND SURVEYORS
5. SOIL INFORMATION:
 - SOIL INFORMATION FOR THE SITE WAS TAKEN FROM THE "SOIL SURVEY OF ROCKINGHAM COUNTY PAGE 36 SOL TYPE 285 - UNDERPINE, SMOOTHED"
 - 285 - UNDERPINE, SMOOTHED
 - 285 - UNDERPINE, SMOOTHED
 - 285 - UNDERPINE, SMOOTHED
6. ZONING INFORMATION:
 - PER TOWN OF HAMPTON ZONING ORDINANCE TABLE II (1.2)
 - ZONE: RESIDENTIAL SEASONAL
 - MINIMUM LOT AREA: 6,000 SF
 - MINIMUM LOT FRONTAGE: 60 FT.
 - MINIMUM YARD SETBACKS:
 - FRONT: 10 FT.
 - SIDE: 10 FT.
 - REAR: 7 FT.
 - MAXIMUM IMPERVIOUS COVERAGE: 50%
 - MAXIMUM BUILDING HEIGHT: 20 FT.
 - WETLAND SETBACK: 50 FT.
7. PARKING REQUIREMENTS:
 - PARKING FOR THE SITE WILL BE AT THE PUBLIC PARKING LOT AT THE EASTERN END OF ISLAND PATH. VISITORS WILL WALK TO THE SITE FROM THIS PARKING LOT.
 - ON-SITE PARKING WILL BE PROVIDED OFF OF ISLAND PATH FOR HANDICAPPED AND EMERGENCY ACCESS.
 - TOTAL PROVIDED SPACES = 4 SPACES

PHASE 2 NOTES

PART 1:

1. INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE SILT FENCE DETAIL ON SHEET C3.
2. CONSTRUCT THE PROPOSED 10X12 OBSERVATION DECKS IN ACCORDANCE WITH THIS PLAN AND THE OBSERVATION DECK CROSS-SECTION AND FRAMING PLAN.
3. CONSTRUCT THE FIRST SECTION OF BOARDWALK AS SHOWN ON THIS PLAN TO PROVIDE ACCESS TO THE DECK FROM THE GRAVEL HANDICAPPED ACCESSIBLE RAMP. BOARDWALK SECTION TO BE CONSTRUCTED IN ACCORDANCE WITH THE BOARDWALK CROSS-SECTION AND TYPICAL BOARDWALK FRAMING PLAN.
4. CONSTRUCT THE GRAVEL HANDICAPPED ACCESS RAMP TO THE FIRST SECTION OF BOARDWALK TO PROVIDE ACCESS TO THE OBSERVATION DECK. (SEE TYPICAL GRAVEL RAMP CROSS-SECTION).
5. THE CONTRACTOR SHALL GRADE THE GRAVEL ACCESS RAMP IN SUCH A WAY AS TO PREVENT PONDING AND PULPING, AND TO DIRECT RUNOFF AWAY FROM THE OBSERVATION DECK.
6. UPON COMPLETION OF PHASE 2, PART 1 AND STABILIZATION OF ALL DISTURBED TERRAIN PER THE EROSION CONTROL AND SEQUENCING NOTES FOUND ON SHEET C3, THE SILT FENCE MAY BE REMOVED.

PART 2:

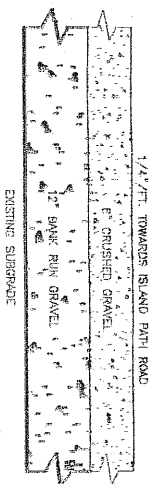
1. INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE SILT FENCE DETAIL ON SHEET C3.
2. CONSTRUCT THE 6 FT. WIDE BOARDWALK AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE BOARDWALK CROSS-SECTION AND TYPICAL BOARDWALK FRAMING PLAN.
3. REMOVE GRAVEL PATH AND ACCESS RAMPS BETWEEN OBSERVATION DECKS.
4. MAINTAIN GRAVEL ACCESS RAMPS LEADING TO THE DECKS FROM THE REMAINING GRAVEL PATH.
5. UPON COMPLETION OF PHASE 2, PART 2 AND STABILIZATION OF ALL DISTURBED TERRAIN PER THE EROSION CONTROL AND SEQUENCING NOTES FOUND ON SHEET C3, THE SILT FENCE MAY BE REMOVED.

UTILITIES NOTE:

THIS IS NOT A BOUNDARY SURVEY. LIABILITY FOR ACTIONS UNDERTAKEN IN RELIANCE UPON THIS PLAN AS THEY RELATE TO THE SET-BACKS FROM EXISTING UTILITIES, FENCE, EROSION, AND SEQUENCING NOTES FOUND ON SHEET C3, THE SILT FENCE MAY BE REMOVED.

LOCUS

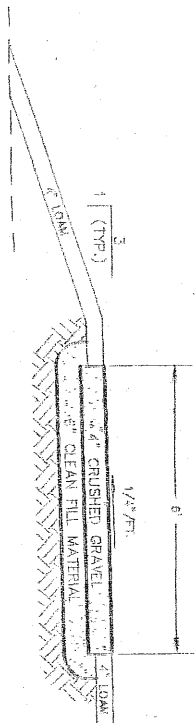
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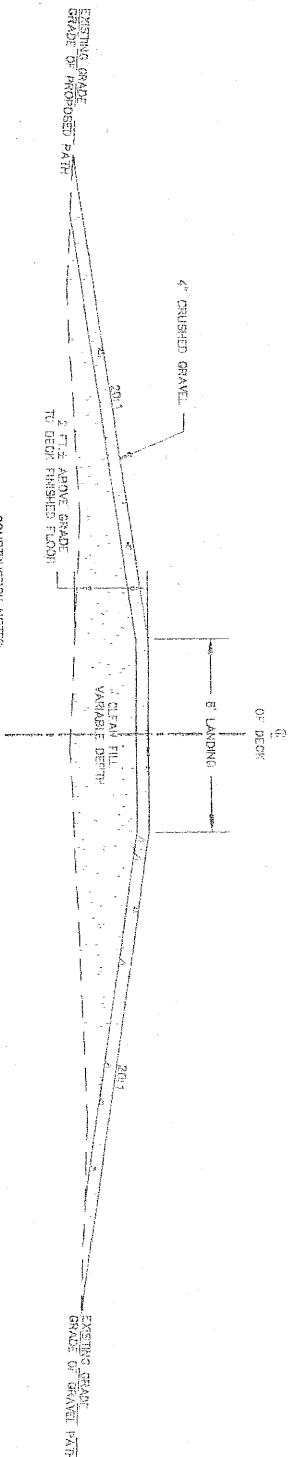
- CONSTRUCTION NOTES**
1. REMOVE ORGANIC SOILS TO A DEPTH OF 12" BELOW EXISTING GRADE.
 2. PLACE BANK RUN GRAVEL IN 6" LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL TO A DEPTH OF 6", COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 5. LOAM AND SEED ALL DISTURBED AREAS NOT TREATED WITH GRAVEL.

TYPICAL GRAVEL PARKING LOT CROSS SECTION

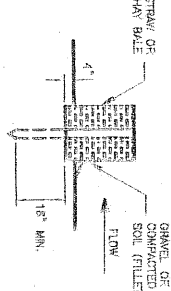
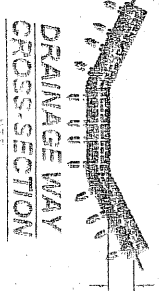
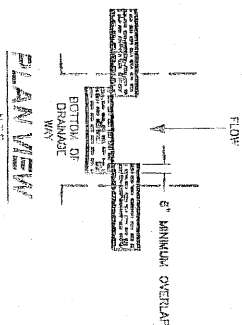
N.T.S.



- CONSTRUCTION NOTES**
1. REMOVE ORGANIC SOILS TO A DEPTH OF 6" BELOW EXISTING GRADE.
 2. PLACE CLEAN FILL AS NECESSARY TO A MINIMUM DEPTH OF 6".
 3. PLACE FILL IN 6" LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. PLACE CRUSHED GRAVEL TO A DEPTH OF 4", COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 5. REVERSE PITCH ACROSS PATH TO 1/4" PER FOOT AWAY FROM THE DECK IN THE AREA OF THE 6 FT. X 8 FT. LANDING.
 6. LOAM AND SEED ALL DISTURBED AREAS NOT TREATED WITH GRAVEL.
- GRAVEL PATH CROSS-SECTION**
- SCALE: 1" = 2'



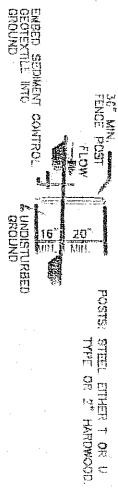
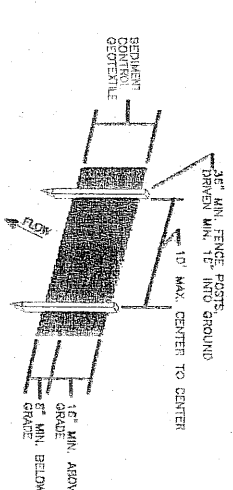
- CONSTRUCTION NOTES**
1. REMOVE ORGANIC SOILS TO A DEPTH OF 6" BELOW EXISTING GRADE.
 2. PLACE CLEAN FILL AS NECESSARY IN 6" LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL TO A DEPTH OF 4", COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. LOAM AND SEED ALL DISTURBED AREAS NOT TREATED WITH GRAVEL.
- GRAVEL PATH DECK RAMP PROFILE**
- NOT TO SCALE



HAY BALE INSTALLATION DETAIL

N.T.S.

- CONSTRUCTION SEQUENCING**
1. STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIRECTIONS SHOWN ON THE PLANS AT THE APPROPRIATE STATIONS.
 2. APPROPRIATE BRACING SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT TENSION, AIR AND WATER POLLUTION WILL BE MINIMIZED.
 3. HAY BALES SHALL BE PLACED IN ROWS WITH ENDS OF BALES STAGGERED AND OVERLAPPED AS SHOWN IN THE DETAIL.
 4. HAY BALES SHALL BE EMBODIED ONTO THE SOIL AT LEAST 18" BELOW THE SURFACE OF THE SOIL.
 5. HAY BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AT LEAST 18" INTO THE SOIL.
 6. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
- MAINTENANCE NOTES**
1. TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE PROTECTED FROM DAMAGE AND MAINTAINED IN GOOD CONDITION. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
 2. PERMANENT TENSION SHOULD BE GIVEN TO THE STRUCTURE.
 3. WHEN REMOVING THE STRUCTURES, THE DISTURBED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL RAILROAD AND THE AREAS REPAIRED, SEEDS AND SEEDING SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.



TYPICAL SILT FENCE

N.T.S.

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. THE TOP ANCHOR WILL BE UNCONTROLLED AND COMPACTED TO EXISTING GRADE.
 2. SEDIMENT CONTROL GEOTEXTILE TO BE FASTENED SECURELY TO UPSLOPE SIDE OF FENCE POSTS.
 3. WHEN TWO SECTIONS OF SEDIMENT CONTROL GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND STAPLED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED FROM THE FENCE.
 5. SILT FENCE SHALL BE REMOVED ONCE INITIAL PROGRESS IS ESTABLISHED AND DISTURBED AREAS SHALL BE REPAIRED.

CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES:

1. INSTALL SILT FENCE AS SHOWN ON THE SITE PLAN AND THE TYPICAL SILT FENCE DETAIL PRIOR TO BEGINNING CONSTRUCTION.
2. CLEAR AND GRUB GRAVEL PATH AND GRAVEL PARKING AREA AS SHOWN ON THE SITE PLAN.
3. PERSON CUTS AND FILLS AS NECESSARY TO PREPARE ROADWAY SURFACED IN 300 FT. SEGMENTS.
4. PLACE FILL IN MAXIMUM 1' LIFTS AND COMPACT TO 95% PROCTOR DENSITY. ALL FILL MATERIAL SHALL BE FREE OF DEBRIS, LUMBER, STUMPS, BRUSH AND ROCKS.
5. ALL DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 45 DAYS OF DISTURBANCE.
6. BANK RUN GRAVEL AND CRUSHED GRAVEL FOR THE GRAVEL PATH AND THE GRAVEL PARKING AREA SHALL BE LAYED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM PROCTOR DENSITY TO THE DECK FINISHED FLOOR.
7. LOAM SHALL BE SPREAD TO A MINIMUM OF 4" OVER ALL DISTURBED AREAS.
8. ALL DISTURBED AREAS BEING PERMANENTLY SEEDING SHALL BE FERTILIZED, SEEDS AND SEEDING TO BE APPLIED TO ALL DISTURBED AREAS WITHIN 7 DAYS OF COMPLETION. THIS SITE IS WITHIN THE SHORELAND PROTECTION BUFFER FOR COASTAL WATERS.
9. FOR 1/4 AC. OF 6" OF LOW PERSISTENT SLOW RELEASE NITROGEN FERTILIZER (ASK NIDES WETLANDS BUREAU REPRESENTATIVE FOR SUBSTITUTION).
10. SEED MIXTURE FOR SLOPE AND LAWN AREAS. A SUITABLE WORME SEED MIXTURE SHALL BE USED TO SEED DISTURBED AREAS. (ASK NIDES WETLANDS BUREAU REPRESENTATIVE FOR SUBSTITUTION).
11. OTHERWISE USE THE SWAMPED MIXTURE BELOW:
12. 40 lb./ac. NITROGEN 31 TALL FESCUE
13. 30 lb./ac. ORCHARD GRASS
14. 20 lb./ac. BROME BROMUS COT TITRIFOL
15. 10 lb./ac. RED TOP
16. MIX SHALL BE APPLIED AT 100 lb./ac.
17. MULCH TO BE APPLIED TO ALL DISTURBED AREAS 1.5-2.0 TONS/AC.
18. SEEDING FOR PERMANENT COVER SHALL BE PERFORMED BETWEEN APRIL 15 - OCTOBER 15.
19. CONSTRUCTION AS NEEDED.
20. NO FIRE SHALL BE STORED OR SET DURING CONSTRUCTION.
21. HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WAITING, SHALL BE REMOVED BY THE CONTRACTOR.
22. ALL CONSTRUCTION MATERIALS THAT ARE SPILLED OR DEPOSITED ON THE PUBLIC ROADWAYS SHALL BE REMOVED BY THE CONTRACTOR.
23. ALL DISTURBED AREAS SHALL BE REMOVED ONCE INITIAL GROWTH HAS BEEN ESTABLISHED. ALL DISTURBED AREAS SHALL BE REPAIRED.
24. THE SAME PROCEDURE SHALL BE REPEATED FOR THE CONSTRUCTION OF PHASE 2 STARTING WITH THE CONSTRUCTION OF THE GRAVEL PATH AND THE GRAVEL PARKING AREA.
25. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

MJS ENGINEERING, PC

CIVIL

REPRESENTATIVE

CONSULTING ENGINEER

98 Main St., P.O. Box 250
Hampton, NH 03843

Phone: (603) 459-6270, Fax: (603) 459-6427
Email: info@mjsengr.com

DATE: 6/14/02

SCALE: AS SHOWN

DESIGNED BY: RRL

DRAWN BY: RRL

APPROVED BY: MJS

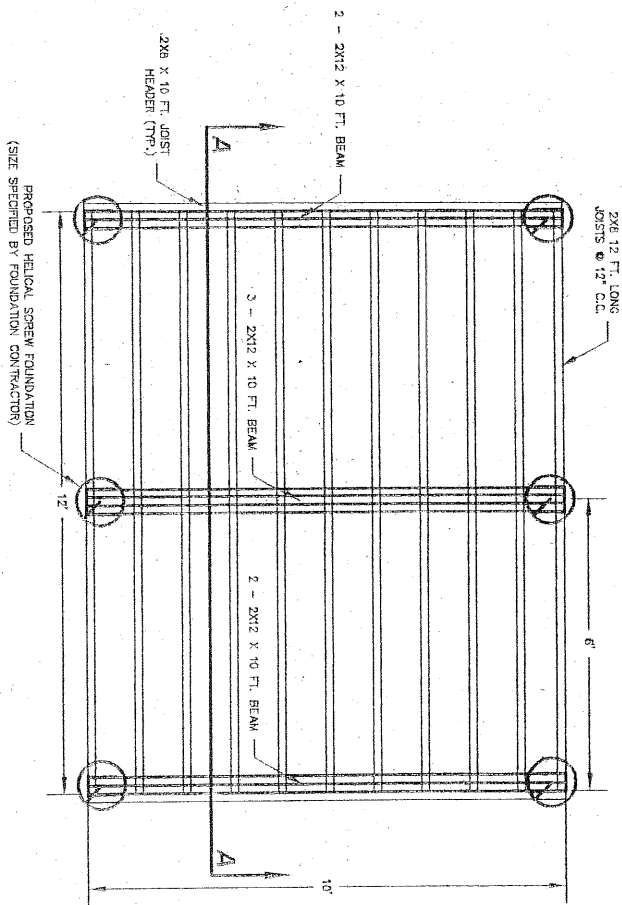
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REVISIONS

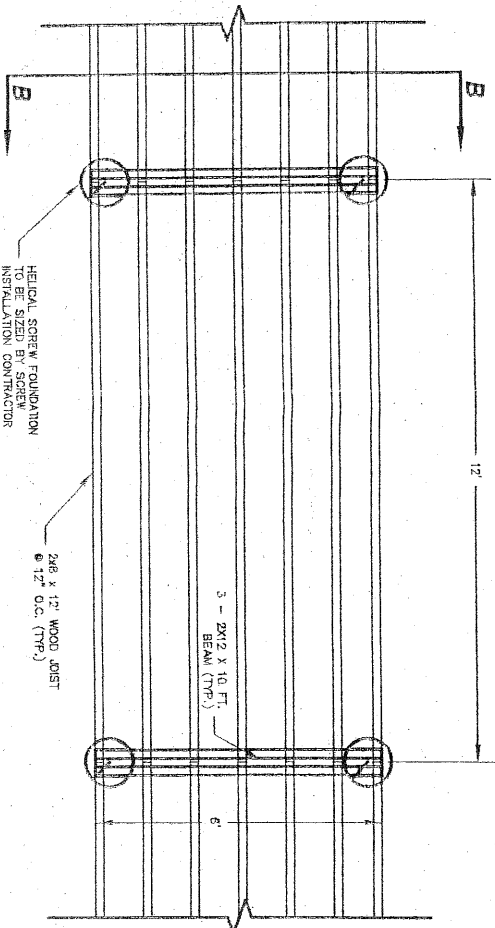
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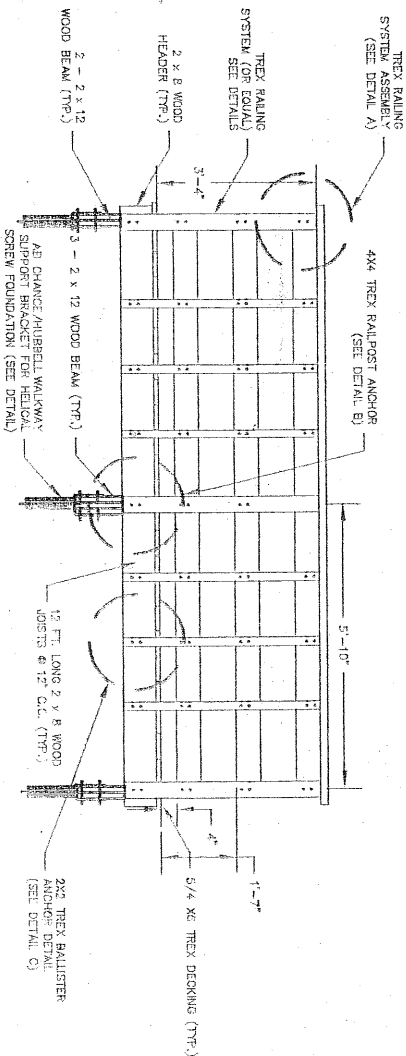
TYPICAL DECK FRAMING DETAIL

SCALE 1"=2'



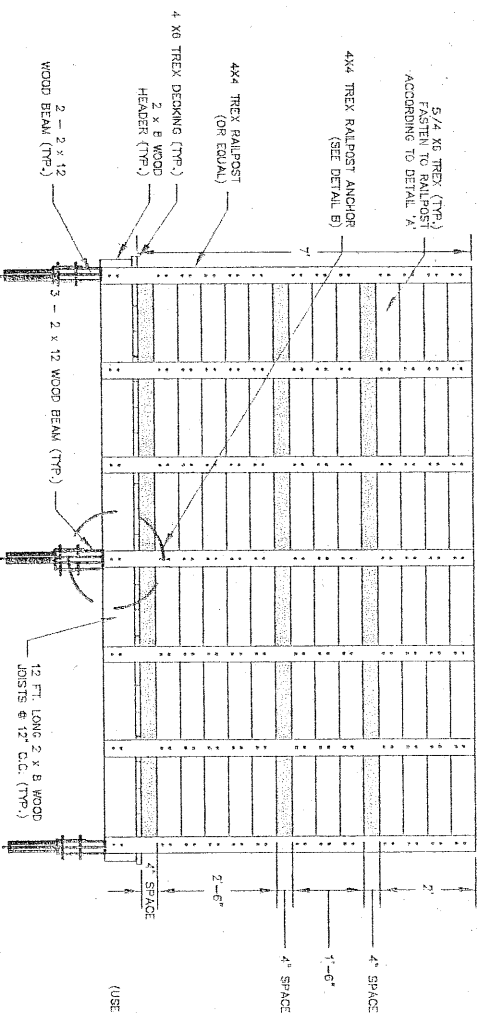
TYPICAL BOARDWALK FRAMING DETAIL

SCALE 1"=2'



TYPICAL DECK CROSS-SECTION A-A

SCALE 1"=2'



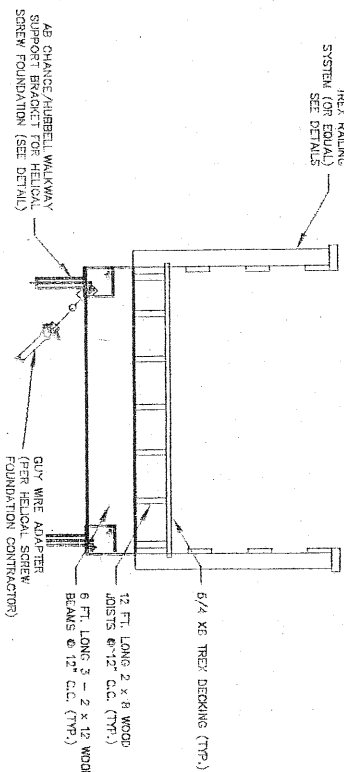
TYPICAL DECK CROSS-SECTION B-B

SCALE 1"=2'

NOTES:
1. RAILING TO BE CONSTRUCTED INSTEAD OF RAILING IN LOCATIONS SHOWN ON THE PHASE 2 SITE PLAN.
2. TREX MATERIAL IN BIRD-BLIND CAN BE SUBSTITUTED WITH PRESSURE TREATED LUMBER. PRESSURE TREATED LUMBER MAY BE NAILED USING 16d NAILS INSTEAD OF #10 SCREWS.

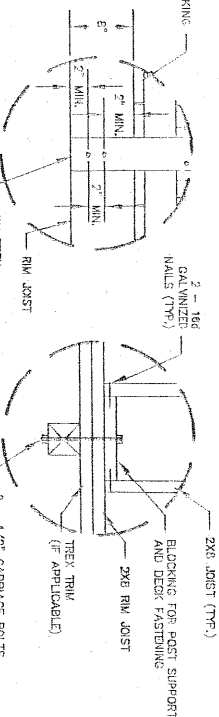
TYPICAL BIRD-BLIND DETAIL

SCALE 1"=2'



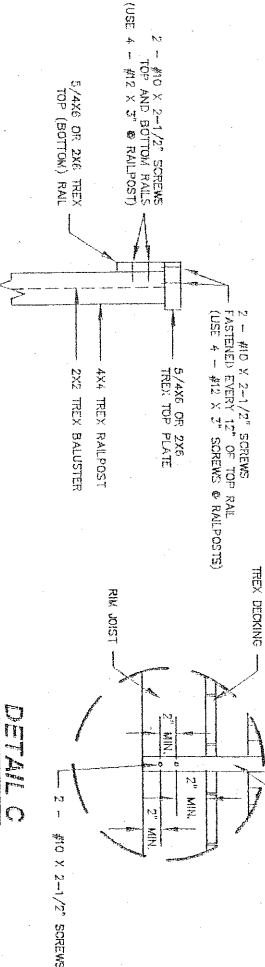
TYPICAL DECK CROSS-SECTION E-E

SCALE 1"=2'



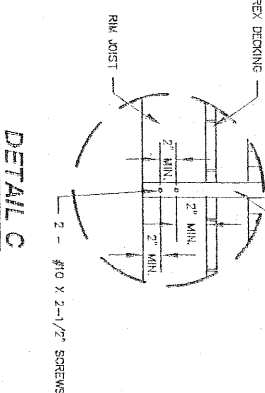
TYPICAL RAILPOST CONNECTION DETAIL

SCALE 1"=1'



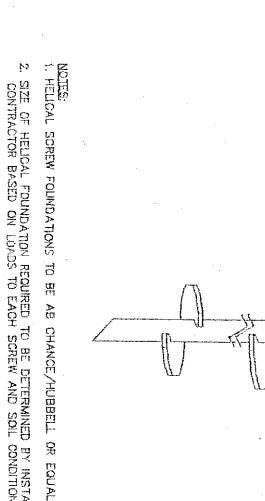
TYPICAL RAIL CROSS-SECTION DETAIL A

SCALE 1"=1'



TYPICAL RAIL CROSS-SECTION DETAIL B

SCALE 1"=1'



TYPICAL RAIL CROSS-SECTION DETAIL C

SCALE 1"=1'

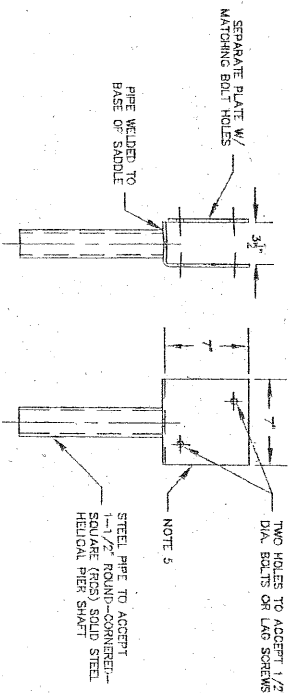
NOTES:
1. HELICAL SCREW FOUNDATIONS TO BE AB CHANCE/HUBBELL OR EQUAL.
2. SIZE OF HELICAL FOUNDATION REQUIRED TO BE DETERMINED BY INSTALLATION CONTRACTOR BASED ON LOADS TO EACH SCREW AND SOIL CONDITIONS.
3. SOIL CONDITIONS TO BE INVESTIGATED BY HELICAL SCREW FOUNDATION INSTALLATION CONTRACTOR.

TYPICAL HELICAL FOUNDATION DETAIL

NOT TO SCALE

FOUNDATION MOUNTING BRACKET DETAIL

NOT TO SCALE



NOTES:
1. HOT DIPPED GALVANIZED PER ASTM A-153.
2. MATERIAL FOR SADDLE HOT ROLLED STEEL.
3. BOLTS: 1/2" DIA. HEX HEAD, 4-1/2" LONG WITH NUT AND LOCKWASHER, SUPPLIED BY OTHERS.
4. 10000 LB MAX LOAD COMPRESSION ONLY.
5. BEAM SADDLE FORMED FROM 1/4" THICK STEEL PLATE.

BOARDWALK DETAILS
prepared for
ROCKINGHAM COUNTY
CONSERVATION COMMISSION
AND THE
HAMPTON CONSERVATION COMMISSION
(TAX MAP 281, LOT 1)
ISLAND PATH ROAD HAMPTON, NH

DATE: 6/14/02
SCALE: AS SHOWN
DESIGNED BY: RRL
DRAWN BY: RRL
APPROVED BY: MJS
DWG FILE: D:_056-D2A

SEAL

NO.	REVISIONS	DATE	INT.

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E-mail: mjsengr@verizon.net

C4

JOB: 01-056

ISLAND PATH WALKWAY

HISTORY: In 1999 the Town of Hampton passed an article by Town Meeting Vote to, "Place a Town owned (5.75+/- acre) parcel of land located on Island Path between Garland Street and #184 Island Path, abutting the marsh, shown on Tax Map # 281 lot #1, under the jurisdiction of the Conservation Commission. The Commission will make use of the parcel as an educational area for the study of the marsh and its wildlife. The passage of this article will be at no cons to the Town."

To this purpose the conservation Commission has been working with the Rockingham County Conservation District to secure grant monies for this project. At this point we have a generous donation from Mr. Foss of \$15,000 to be used as matching funds for any grant monies we receive.

This public hearing is in response to a grant request made to the Office of State Planning Coastal Program for the amount of \$13,000.

The Grant will cover:

- | | |
|---|---------|
| 1. Survey of the lot (upland only) | \$2,000 |
| 2. Wetland delineation by a certified wetland Scientist and Submission of NH DES wetland permits. | \$1,000 |
| 3. Conceptual engineering layout of handicapped access trails and overlook. | \$4,000 |
| 4. Design and production of 8-10 interpretive signs. | \$3,000 |
| 5. Clear brush and flag out looks and parking. (In kind and Volunteer) | NC |
| 6. Preparation of the RFP by the Rockingham County Conservation District. | \$3,000 |

TOTAL: \$13,000

We will be looking for more grant monies to cover the actual cost of materials and construction. This grant will not cover that.

We are here today to ask for public input, I would like to open the floor to any questions.

PHONE LIST - ISLAND PATH COMMITTEE

Ellen Goethel	926-2165	egoethel@nh.ultranet.com
David Joaquin	926-7141	djoaquin@gis.net
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Mike McDermott	929-1945	
Nancy Olney	926-3617	pbolney@rcn.com
Bonnie Searle	929-0068	
Peter Tilton, Jr.	926-3910	ptiltonjr@iopener.net

ALTERNATES:

Patricia Fraser	926-5642	pasatimawa@yahoo.com
Bonnie Thimble	929-1481	bob.t@ttlc.net

4/10/02
4/17/02